



CITY OF PACIFIC GROVE

Community Development Department – Planning Division

300 Forest Avenue, Pacific Grove, CA 93950

T :: 831.648.3190 • F :: 831.648.3184 • www.ci.pg.ca.us/cdd

Permit & Request Application



Project Permit(s) & Fees			
Permit: <u>AP</u>	Fee: _____	Multiple Permit Discount: _____	App. #: <u>14-586</u>
_____	_____	_____	Date: <u>11/26/14</u>
_____	_____	_____	Received By: <u>A. Hobson</u>
_____	_____	_____	Total Fee: _____

Project/Property Information	
Project Address: <u>414 Forest Ave, Pg</u>	APN: <u>006-481-004</u>
Lot: _____ Block: _____	Tract: _____
ZC: _____ GP: _____	Lot Size: _____
Project: <u>Addition</u>	
Description: <u>Addition to rear of house, approx. 6x20' (going up two stories) = 240 sq ft total</u>	
Applicant Name: <u>Rod Graves Jr</u>	Phone #: <u>831-917-6618</u>
Mailing Address: <u>1142 7th St Monterey Ca 93940</u>	
Email Address: <u>gravesrod@gmail.com</u>	
Owner Name: <u>Jerry Pearman</u>	Phone #: <u>831-869-5125</u>
Mailing Address: <u>414 Forest Ave Pacific Grove, Ca 93950</u>	
Email Address: <u>pearman.j.d.netzero.net</u>	

Permit(s)/Request(s)			
<input type="checkbox"/> CRD: Counter Determination	<input type="checkbox"/> UP: Use Permit	<input type="checkbox"/> IHS: Initial Historic Screening	<input type="checkbox"/> VAR: Variance
<input type="checkbox"/> AP: Architectural Permit	<input type="checkbox"/> AUP: Administrative UP	<input type="checkbox"/> HPP: Historic Preservation Permit	<input type="checkbox"/> AVAR: Administrative VAR
<input type="checkbox"/> AAP: Administrative AP	<input type="checkbox"/> UP-A: UP Amendment	<input type="checkbox"/> HDP: Historic Demolition Permit	<input type="checkbox"/> VAR-A: VAR Amendment
<input type="checkbox"/> ADC: AP Design Change	<input type="checkbox"/> AUP-A: AUP Amendment	<input type="checkbox"/> HRP: Historic Relocation Permit	<input type="checkbox"/> AVAR-A: AVAR Amendment
<input type="checkbox"/> SP: Sign Permit	<input type="checkbox"/> C-1 Interp. of Permitted Uses	<input type="checkbox"/> HD: Historic Determination	<input type="checkbox"/> IS & ND/MND: Initial Study
<input type="checkbox"/> ASP: Administrative SP	<input type="checkbox"/> SU: Second Unit	<input type="checkbox"/> TPD: Tree Permit w/ Dev't	<input type="checkbox"/> EIR: Env. Impact Report
<input type="checkbox"/> TTM: Tentative Tract Map	<input type="checkbox"/> LLA: Lot Line Adjustment	<input type="checkbox"/> PUU: Permit Undocumented Unit	<input type="checkbox"/> MMP: Mitigation Monitoring
<input type="checkbox"/> FTM: Final Tract Map	<input type="checkbox"/> LM: Lot Merger	<input type="checkbox"/> GPA: General Plan Amendment	<input type="checkbox"/> Other _____
<input type="checkbox"/> SPR: Site Plan Review	<input type="checkbox"/> COC: Certificate of Compliance	<input type="checkbox"/> ZCA: Zoning Code Amendment	<input type="checkbox"/> Other _____

CEQA Determination	Review Authority	Does the property have?	Is the property within?
<input type="checkbox"/> Cat. Exempt, Class:	<input type="checkbox"/> Staff <input type="checkbox"/> NRC	<input type="checkbox"/> Active Planning Permit	<input type="checkbox"/> ASA: Archaeologically Sensitive Area ¹
<input type="checkbox"/> ND: Negative Declaration	<input type="checkbox"/> ZA <input type="checkbox"/> HRC	<input type="checkbox"/> Active Building Permit	<input type="checkbox"/> CZ: Coastal Zone ²
<input type="checkbox"/> MND: Mitigated ND	<input type="checkbox"/> SPRC <input type="checkbox"/> PC	<input type="checkbox"/> Active Code Violation	<input type="checkbox"/> ASBS: Drainage into ASBS Watershed
<input type="checkbox"/> EIR: Environmental Impact Report	<input type="checkbox"/> ARB <input type="checkbox"/> CC		<input type="checkbox"/> HRI: Historic Resources Inventory ^{3,4}
			<input type="checkbox"/> BP: Butterfly Preserve Buffer

CERTIFICATION – I, the undersigned, under penalty of perjury, depose and certify that I am the applicant for this request, that the property owner approves this application and that all statements contained herein, including all documents and plans submitted in connection with this application, are true and accurate to the best of my knowledge.


11-23-14


Applicant Signature _____ Date _____ Owner Signature (Required) _____ Date _____

NOV 25 2014

PROJECT DATA SHEET

CITY OF PACIFIC GROVE
COMMUNITY DEPARTMENT

Project Address: 414 Forest Ave

Submittal Date: _____

Applicant(s): Jerry & Denise Pearman

Permit Type(s) & No(s): _____

	REQUIRED/ Permitted	Existing Condition	Proposed Condition	Notes
Zone District				R4
Building Site Area		964	990	
Density (multi-family projects only)		N/A	N/A	N/A
Building Coverage		26.5%	26%	
Site Coverage		50.79%	54.2%	
Gross Floor Area		2684.45	2941.95	
Square Footage not counted towards Gross Floor Area		197	197	garage
Impervious Surface Area Created and/or Replaced		543	543	
Exterior Lateral Wall Length to be demolished in feet & % of total*	_____	_____	ft/ %	
Exterior Lateral Wall Length to be built	_____	_____	143.5	
Building Height		30.06'	30.06'	
Number of stories		2	2	
Front Setback		8.47'	8.47'	
<u>N</u> Side Setback (specify side)		6.08'	6.08'	
<u>S</u> Side Setback (specify side)		32.13'	32.13'	
Rear Setback		14.3'	14.3'	
Garage Door Setback		39.67'	39.67'	
Covered Parking Spaces		1	1	Garage
Uncovered Parking Spaces		1	1	
Parking Space Size (Interior measurement)	9' x 20'	9'0" x 20'	9'0" x 20'	Driveway
Number of Driveways	1	1	1	
Driveway Width(s)		9.25'	9.25'	
Back-up Distance		N/A		
Eave Projection (Into Setback)	3' maximum			
Distances Between Eaves & Property Lines	3' minimum	13 1/2'	13 1/2'	
Open Porch/Deck Projections		38"	38"	
Architectural Feature Projections				
Number & Category of Accessory Buildings		1 garage	1 garage	
Accessory Building Setbacks		0	0	
Distance between Buildings		47"	47"	
Accessory Building Heights		13.5'	13.5'	
Fence Heights		4' to 6'	4' to 6'	

*If project proposes demolition to an HRI structure, also indicate % of proposed demolition of the surface of all exterior walls facing a public street or streets, if applicable.

PROJECT DATA SHEET

Project Address: 414 Forest Ave.

Submittal Date: _____

Applicant(s): Jerry & Denise Pearman

Permit Type(s) & No(s): _____

	REQUIRED/ Permitted	Existing Condition	Proposed Condition	Notes
Zone District	R-4			
Building Site Area		3779.98 sq. ft.		
Density (multi-family projects only)				
Building Coverage	50%	25.5%	26%	
Site Coverage	60%	50.39%	54.2%	
Gross Floor Area		2881.45 sq. ft.	3138.95 sq. ft.	
Square Footage not counted towards Gross Floor Area		n/a	n/a	
Impervious Surface Area Created and/or Replaced			543 sq. ft.	
Exterior Lateral Wall Length to be demolished in feet & % of total*	_____	_____	___ft/___%	
Exterior Lateral Wall Length to be built	_____	_____	143.5 ft	
Building Height	30'	30.06'	30.06'	No change
Number of stories		2	2	
Front Setback	12'	8.47'	8.47'	No change
NORTH Side Setback (specify side)		6.08'	6.08'	
SOUTH Side Setback (specify side)		32.13'	32.13'	
Rear Setback	8'	14.3'	14.3'	
Garage Door Setback		39.67'	39.67'	
Covered Parking Spaces	2	1	1	
Uncovered Parking Spaces	1	1	1	
Parking Space Size (Interior measurement)	9' x 20'	9'10"x20	No change	
Number of Driveways	1	1	1	
Driveway Width(s)		9.25'	9.25'	
Back-up Distance				
Eave Projection (Into Setback)	3' maximum			
Distances Between Eaves & Property Lines	3' minimum	13.5'	13.5'	
Open Porch/Deck Projections		38"	38"	
Architectural Feature Projections				
Number & Category of Accessory Buildings		1	1	Detached Garage
Accessory Building Setbacks				
Distance between Buildings		47"	47"	
Accessory Building Heights		13.5'	13.5'	
Fence Heights		4" / 6"	4" / 6"	

*If project proposes demolition to an HRI structure, also indicate % of proposed demolition of the surface of all exterior walls facing a public street or streets, if applicable.

P A S T
CONSULTANTS LLC

Seth A. Bergstein
415.515.6224
seth@pastconsultants.com

January 16, 2015

Jerry Pearman
414 Forest Avenue
Pacific Grove, CA 93950

Re: Phase Two Historic Assessment for 414 Forest Avenue, Pacific Grove, CA
APN. 006-481-004-000

Dear Mr. Pearman:

This letter evaluates the proposed alterations to 414 Forest Avenue, Pacific Grove, CA. PAST Consultants, LLC (PAST) completed a site visit to the property on January 2, 2015 to view the property's existing condition and the location of proposed alterations. The modified circa-1897 house has received various alterations since its original construction as a single-story, vernacular Queen Anne-style residence. The present building is a two story Queen Anne-style residence retaining historic character-defining features such as a pyramidal roof, boxed eaves with cornice returns, clipped-bay windows with decorative bracketing above the second story bay window, and decorative front porch.

The house is presently on the City of Pacific Grove's Historic Resources Inventory (HRI) and is considered to be locally significant. Design Drawings by Mason Construction Design, dated November 18, 2014 and submitted to the City of Pacific Grove's Planning Department were the design drawings reviewed for this document.

The Pacific Grove Heritage archives were contacted to gather existing research on the building. Their records, including Sanborn maps from 1897, 1905, 1914 and 1926 were reviewed and used to determine possible construction dates of the various alterations.

The Secretary of the Interior's Standards

The *Secretary of the Interior's Standards for the Treatment of Historic Properties (Standards)* provides the framework for evaluating the impacts of additions and alterations to historic buildings. The *Standards* describe four treatment approaches: preservation, rehabilitation, restoration and reconstruction. The *Standards* require that the treatment approach be determined first, as a different

set of standards apply to each approach. For the proposed project, the treatment approach is rehabilitation. The *Standards* describe rehabilitation as:

In **Rehabilitation**, historic building materials and character-defining features are protected and maintained as they are in the treatment Preservation; however, an assumption is made prior to work that existing historic fabric has become damaged or deteriorated over time and, as a result, more repair and replacement will be required. Thus, latitude is given in the **Standards for Rehabilitation and Guidelines for Rehabilitation** to replace extensively deteriorated, damaged, or missing features using either traditional or substitute materials. Of the four treatments, only Rehabilitation includes an opportunity to make possible an efficient contemporary use through alterations and additions.¹

The ten *Standards* for rehabilitation are:

1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.
2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.
3. Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.
4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.
5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.
6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

¹ *The Secretary of the Interior's Standards for the Treatment of Historic Properties* (accessed via <http://www.nps.gov/hps/tps/standguide/>).

Two images of the house appear as **Figures 1 and 2** below.



Figures 1 and 2. Left image shows the front (east) and side (south) elevations of the house as constructed circa-1901. The side entry porch is an addition possibly dating to the 1940s/1950s (arrow). The garage located to the south replaced an earlier garage by 1926. Right image shows the front, Forest Avenue elevation with Queen Anne-style design features and projecting second-story, clipped-bay window.

Previous Alterations to 414 Forest Avenue

Based on assessment data and Sanborn maps courtesy of Pacific Grove Heritage, the circa-1897 house received the second-story hipped roof addition circa-1901. The present Queen Anne-styled character-defining features were likely installed at this time (**Figures 1 and 2**).

The alterations to the building after its circa-1901 two-story construction are:

- Construction of two rear outbuildings, subsequently removed by 1905, based on Sanborn Maps.
- Construction of present garage southwest of the house in the location of the earlier outbuildings by 1926, based on Sanborn Maps (**Figure 1**).
- Installation of a small entry porch on the south elevation in the 1940s/1950s, based on fabric evidence on the building (**Figure 1**).
- Installation of a rear addition to the west elevation in the 1940s/1950s, based on fabric evidence on the building (**Figures 3 and 4**).
- Removal of original sash windows and replacement with aluminum sash, likely in the 1950s.
- Construction of the small, shed-roofed laundry/bathroom addition into the earlier rear addition at an unknown date (**Figures 3 and 4**).



Figures 3 and 4. Two images of the rear (west) elevation. The left image looks northeast and shows the second rear addition with an arrow. The right image looks southeast and shows the circa-1901 entry porch to be removed (left arrow) and the window opening to be converted into a new rear entry (right arrow).

Summary of Proposed Alterations

Proposed alterations for 414 Forest Ave., Pacific Grove affecting the exterior include:

- Removal of both non-historic first floor rear additions.
- Construct a 216 sq. ft., two-story rear addition to include enlarged first and second-story bathrooms and laundry room. The addition will have a flat roof with roofline below the existing, circa-1901 eave line to differentiate the addition from the historic construction.
- Proposed construction will remove the circa-1901, first-floor rear service porch at the northwest building corner.
- Proposed construction will also remove circa-1901 window opening (with replaced aluminum sash) at the southwest building corner and construct new rear entry and small rear porch.
- Proposed alterations only impact the rear of the building and retain existing historic character-defining features on the primary elevations.

Evaluation of Proposed Alterations to 414 Forest Avenue

For the proposed alterations to 414 Forest Avenue, the following lists the ten *Standards* for rehabilitation, with an evaluation given below each standard.

1. *A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.*

The proposed alterations impact the existing building minimally, removing two historic features: the circa-1901 rear service porch; and one window opening. This minimal work will allow the house to continue its historic residential use while retaining existing character-defining features.

2. *The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.*

The proposed rear addition removes two non-historic rear additions that do not contribute to the historic character of the building. While the proposed rear addition removes the period service porch, this feature is on the rear of the building and of minimal significance. All distinctive materials, spaces, spatial relationships and Queen Anne-styled details on the primary elevations will be retained.

3. *Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.*

The proposed alterations do not add conjectural features or elements from other historic properties that would confuse the remaining character-defining features of the subject property.

4. *Changes to a property that have acquired historic significance in their own right will be retained and preserved.*

The proposed alterations do not impact any changes to the building that may have acquired historic significance.

5. *Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.*

The proposed alteration maintains the distinctive Queen Anne-styled features, construction techniques and craftsmanship on the primary elevations.

6. *Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.*

The proposed alterations will repair and retain the residence's existing character-defining features.

7. *Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.*

This Standard does not apply, as chemical and physical treatments to historic fabric are not proposed.

8. *Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.*

This Standard does not apply, as archaeological features are not identified at the site.

9. *New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.*

The proposed rear addition is removing non-historic fabric, with the exception of the service porch mentioned previously. The rear addition will be differentiated from the historic building by using a flat-roofed design that terminates below the existing eave line, keeping it in proportion with the historic residence. This design makes the proposed addition compatible to the existing historic residence.

10. *New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*

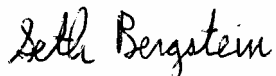
Since the proposed rear addition does not impact the historic residence's primary character-defining features, its removal would not impair the integrity of the historic property.

Conclusion

In conclusion, the proposed design alterations to 414 Forest Ave., Pacific Grove meet the *Secretary of the Interior's Standards for Rehabilitation*. The proposed changes do not impact the primary character-defining features or historic integrity of the building. Because the proposed alterations to the building meet the *Standards*, the alterations are considered as mitigated to a level of less than a significant impact on the historic resource and do not constitute a substantial adverse change to the historic resource, thus conforming to the requirements of the California Environmental Quality Act (CEQA).

Please contact me if you have any questions about this evaluation.

Sincerely,



Seth A. Bergstein, Principal

Cc: Rod Graves Jr., Graves Construction Inc.
City of Pacific Grove, Community Development Department



CITY OF PACIFIC GROVE

Community Economic Development Department – Planning Division

300 Forest Avenue, Pacific Grove, CA 93950

T : 831.648.3183 • F : 831.648.3184 • www.ci.pg.ca.us/cdd

8.d

ARCHITECTURAL PERMIT #14-586

FOR A PROPERTY LOCATED AT 414 FOREST AVE TO CONSTRUCT A 240 SQUARE-FOOT, TWO-STORY ADDITION TO THE REAR OF A TWO-STORY SINGLE FAMILY DWELLING LISTED ON THE HISTORIC RESOURCES INVENTORY

FACTS

1. The subject site is located at 414 Forest Ave, Pacific Grove, 93950 APN 006-481-004
2. The subject site has a designation of High Density Residential on the adopted City of Pacific Grove General Plan Land Use Map.
3. The project site is located in the R-4 zoning district.
4. The subject site is 3,779.98 square feet.
5. The subject site is listed on the City of Pacific Grove Historic Resources Inventory.
6. The subject site is developed with a single family dwelling.
7. A Historic Report was completed by Past Consultants on January 16, 2015.
8. This project has been determined to be CEQA Exempt under CEQA Guidelines 15331.
9. The existing structure exceeds the height limit and does not meet the parking requirement in the R-4 zoning district.

FINDINGS

1. The proposed alterations will meet the development regulations set forth in the R-4 zoning district including setbacks and height requirements and;
2. The architecture and general appearance of the completed project is compatible with the neighborhood because the proposed exterior will be compatible with the size, scale and proportions of the existing residence and other residences in the neighborhood, in that the proposal is consistent with Architectural Review Guidelines No. 24, 25, 27, 30 and;
3. The completed project will neither be detrimental to the orderly and harmonious development of the city nor impair the desirability of investment or occupation in the neighborhood because the project will be improving the subject property, and;
4. The Staff have been guided by and made reference to applicable provisions of the Architectural Review Guidelines in making its determinations on single-family residences.
5. The Phase Two Historic Assessment evaluates the alterations and determines that the project meets the Secretary of the Interior's Standards for Rehabilitation because they do not impact the character-defining features or the historic integrity of the building.

PERMIT

Architectural Permit (AP) 14-586 to allow:

A property located at 414 Forest Ave to construct a 240 square-foot, two-story addition to the rear of an existing two-story single family dwelling listed on the Historic Resources Inventory.

CONDITIONS OF APPROVAL

1. **Permit Expiration.** This permit shall expire and be null and void if a building permit has not been applied for within one (1) year from and after the date of approval. Application for extension of this approval must be made prior to the expiration date.

2. **Construction Compliance.** All construction must occur in strict compliance with the proposal as set forth in the application, subject to any special conditions of approval herein. Any deviation from approvals must be reviewed and approved by staff, and may require Architectural Review Board approval.
3. **Terms and Conditions.** These terms and conditions shall run with the land, and it is the intention of the CDD Director and the Permittee to bind all future owners and possessors of the subject property to the terms and conditions, unless amended. Amendments to this permit may be achieved only if an application is made and approved, pursuant to the Zoning Code.
4. **Public Works, Fire and Building.** Review and approval by the Public Works, Fire and Building Departments are required prior to issuance of a building permit. Work taking place in the public right-of-way shall require an encroachment permit prior to issuance of the building permit.
5. **Conformance to Plans.** Development of the site shall conform to approved plans for “Pearman Residence” dated 11/18/2014, on file with the Community Development Department and to the Building Code, with the exception of any subsequently approved changes.
6. **Tree Protection Standards During Construction:** Pursuant to Municipal Code Chapters 12.20 and 12.30, and the *Urban Forestry Standards*, all trees that are otherwise protected and will be impacted as a result of Development, both proposed for pruning or removal and where the development will impact the critical root zone of the tree are protected. Prior to issuance of the building permit, the Project Arborist shall review grading, drainage, utility, building and landscape plans to determine impacts to individual Trees, to determine required minimum Tree protection standards during construction.
7. **Lighting:** All exterior lighting must conform to Architectural Review Guidelines Nos. 10,11,12
8. **Historic.** Any historic elements removed from the historic dwelling, including but not limited to windows, and doors, must either be reused on-site or stored for future use, to the greatest extent practicable.

NOW, THEREFORE, BE IT RESOLVED BY THE ARCHITECTURAL REVIEW BOARD OF THE CITY OF PACIFIC GROVE:

1. The Board determines that each of the Findings set forth above is true and correct, and by this reference incorporates those Findings as an integral part of this Permit.
2. The Board authorizes Approval of AP 14-586 to allow a property located at 414 Forest Ave to construct a 240 square-foot, two-story addition to the rear of an existing two-story single family dwelling listed on the Historic Resources Inventory.
3. This permit shall become effective upon the expiration of the 10-day appeal period.
4. This permit shall not take effect until the owner acknowledges and agrees to all terms and conditions and agrees to conform to and comply with those terms and conditions.

Passed and adopted at a regular meeting of the Architectural Review Board of the City of Pacific Grove on the 10th day of February, by the following vote:

AYES:

NOES:

ABSENT:

APPROVED:

Chair

The undersigned hereby acknowledge and agree to the approved terms and conditions, and agree to fully conform to, and comply with, said terms and conditions.

Jerry Pearman

Date



DESIGN CRITERIA

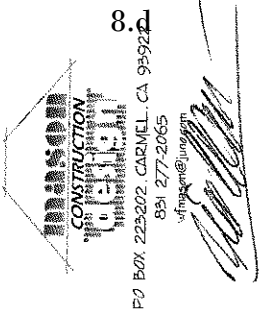
CLIMATE ZONE 3
 BLDG OCCUPANCY GROUP RR
 NEW ROOF LIVE LOADS
 1ST FLOOR ADDITION 20 PSF
 NEW FLOOR LIVE LOAD 40 PSF
 GROUND SNOW LOAD 0
 WIND SPEED 85 MPH
 DESIGN METHOD FOR WIND CS-W5P
 SOIL SITE CLASS D
 SOIL BEARING PRESSURE 1500 PSF DEFAULT
 SEISMIC DESIGN CATEGORY D2
 METHOD OF LATRL FORCE RESIST CS-W5P

SITE INFORMATION

OWNERS: 414 FOREST AVENUE
 JERRY PEARMAN PACIFIC GROVE, CA 93950
 DENISE PEARMAN (831) 324-0057
 ASSESSOR PARCEL NO. 006-481-004-000
 SITE ADDRESS: 414 FOREST AVENUE
 PACIFIC GROVE, CA 93950
 ZONING DISTRICT: R4
 PARCEL SIZE 3779.98 SQ FT
 STORIES 2
 EXISTING RESIDENCE 1,654 SQ. FT.
 PROPOSED ADDITIONAL 216 SQ. FT.
 TOTAL NEW RESIDENCE 1,870 SQ. FT.
 LOT COVERAGE 25.5 %
 GRADING <2 YDS

PROJECT DESCRIPTION

DEMOLISH EXISTING 1ST FLOOR STORAGE/PANTRY/
 BATH/LAUNDRY COVERING 70 SQ FT OF GROUND.
 CONSTRUCT NEW ADDITION OVER 107.77 SQ FT OF
 GROUND. NEW ADDITION TO INCLUDE ENLARGING
 EXISTING 1ST AND 2ND STORY BATHROOMS, 1ST
 STORY LAUNDRY, AND PROVIDE A 2ND STORY
 GUEST BATH. WILL ALSO DEMOLISH EXISTING BACK
 PORCH AND RECONSTRUCT ON DIFFERENT LOCATION
 OF REAR WALL.
 ALL WORK SHALL CONFORM TO THE 2013 EDITION OF
 CALIFORNIA TITLE 24 CODES, C.R.C., C.E.C., C.M.C., C.P.C., C.F.C. AND
 C.E.S.C. ALSO ALL APPLICABLE CODES/ORDINANCES OF THE
 CITY OF PACIFIC GROVE.
 BUILDING CONTRACTOR/HOME OWNER TO REVIEW AND VERIFY
 ALL DIMENSIONS, SPECS. AND CONNECTIONS BEFORE
 CONSTRUCTION BEGINS.
 HOMEOWNER WILL TAKE NECESSARY PRECAUTIONS TO
 REMOVE OR RELOCATE ITEMS OF VALUE TO BE REUSED AND/
 OR SAVED, OR IN ANY DANGER OF BEING DAMAGED DUE TO
 CONSTRUCTION PROGRESS.



PEARMAN RESIDENCE - ADDITION
 414 FOREST AVENUE, PACIFIC GROVE, CALIFORNIA
 APN 006-481-004-000

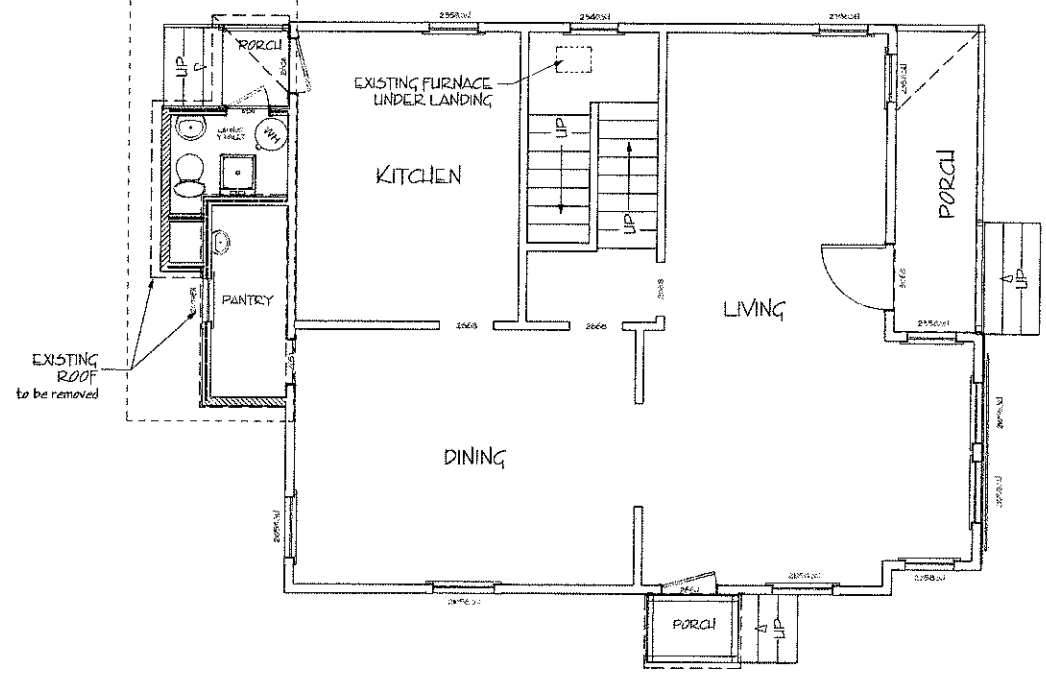
RECEIVED
 NOV 25 2014

CITY OF PACIFIC GROVE
 COMMUNITY DEV DEPT

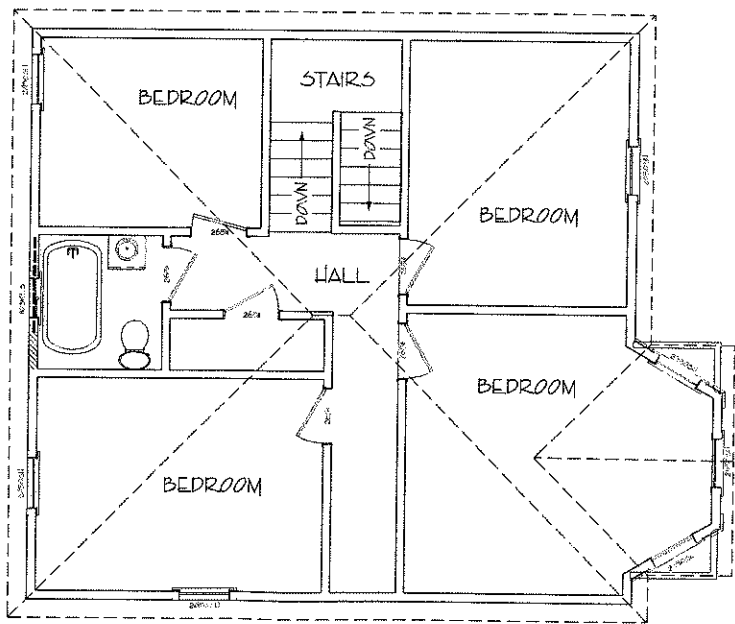
UNGLAZED WALL
 WALL TO BE REMOVED AND REPLACED
 WALL TO BE REMOVED WITHOUT REPLACEMENT

EXISTING FLOOR PLAN

SCALE 1/4" = 1'-0"



1ST FLOOR



2ND FLOOR

SHEET INDEX

- EXISTING FLOOR PLAN A1
- SITE PLAN A2
- NEW FLOOR PLANS A3
- ELEVATIONS A4
- FOUNDATION PLAN A5
- BUILDING SECTIONS A5
- FRAMING PLAN A6
- BRACE WALL LINES A6
- DETAILS A7
- NOTES & PROVISIONS A8 & A9
- TITLE 24 ENERGY COMPLIANCE T24-1 & T24-2

REVISION TABLE			
NUMBER	DATE	REVISED BY	DESCRIPTION

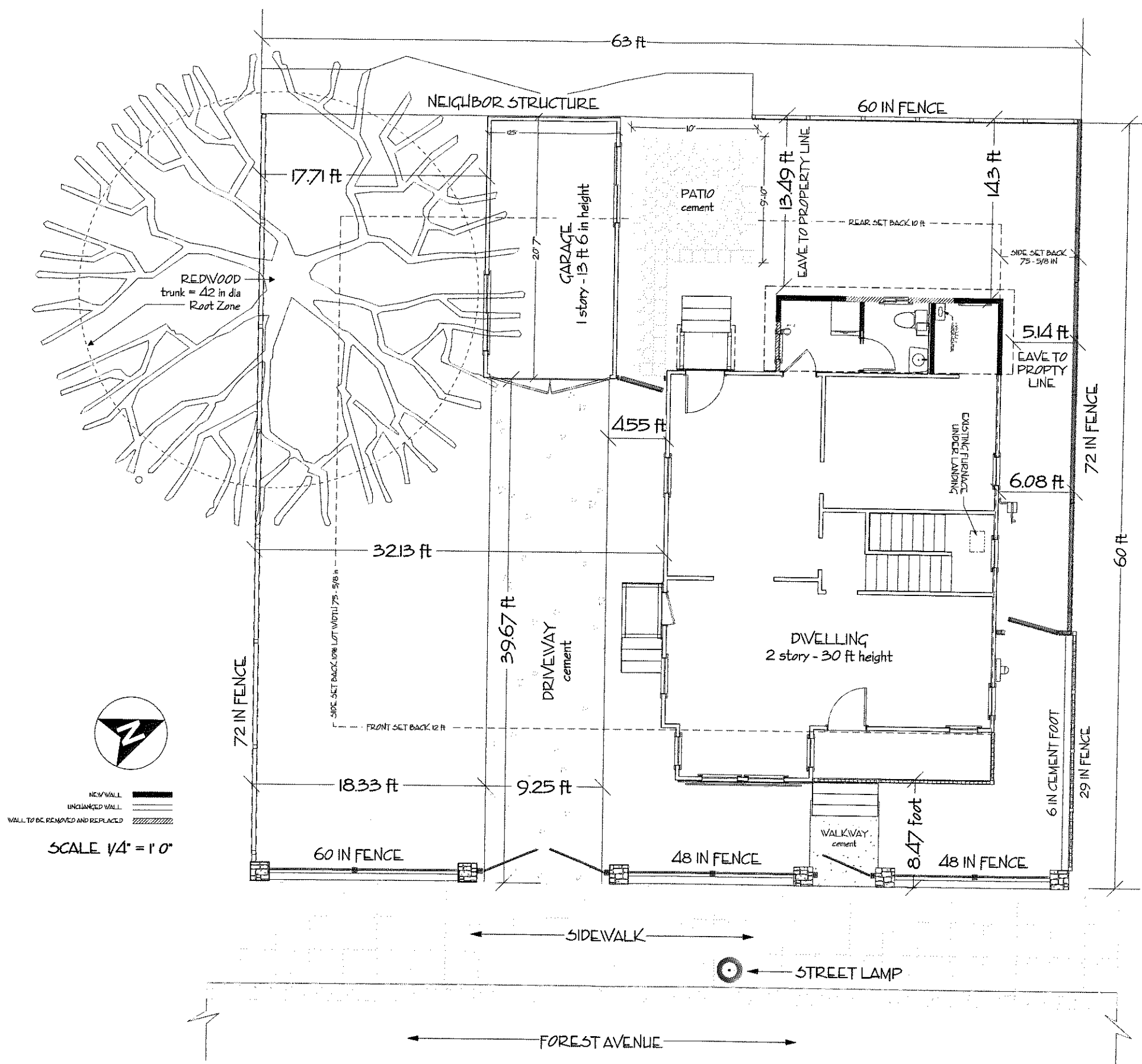
These plans are drawn in compliance with Owner's and/or Builder's specifications, to the best of Designer's knowledge. Other than amendments required by Building Permit Authority, changes to these plans after their submission are at Owner's and/or Builder's responsibility and expense.

Plans describing as-built construction are based upon field inspection, without opening of concealed conditions or excavation of buried items. Completely reliable construction documents for as-built structure were not available. These drawings are intended as a guide to the contractor who shall verify dimensions before proceeding with work.

Contractor/Builder shall review all dimensions, specifications, notes, provisions and codes. While every effort to avoid mistakes has been made in the plan preparation, the maker can not guarantee against human error. Designer is not liable for errors once construction has begun. All dimensions and details must be verified prior to construction. The Contractor/Builder will be solely responsible thereafter.

PROJECT DESCRIPTION
 EXISTING FLOOR PLAN

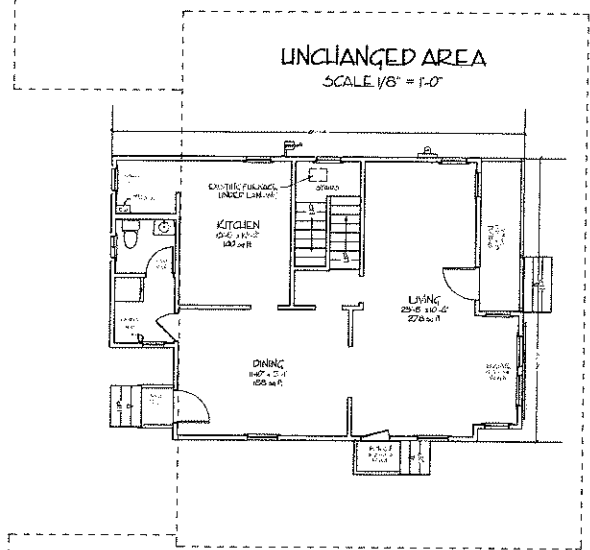
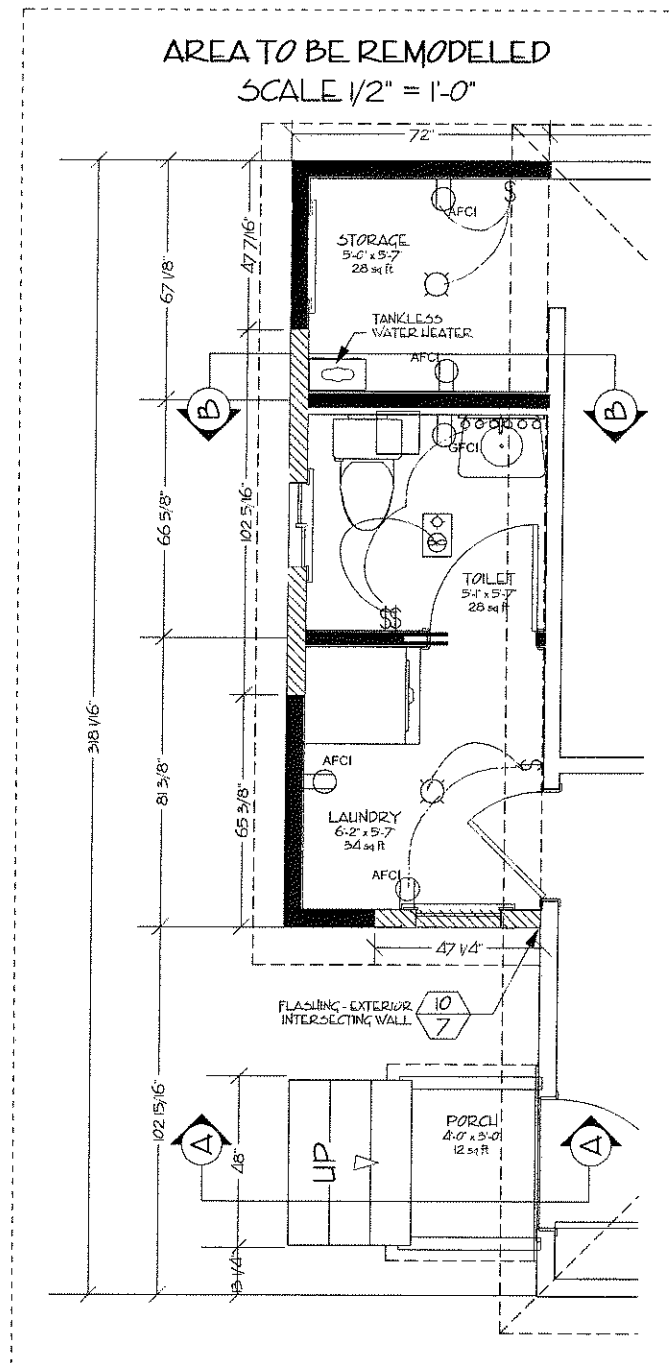
AI
 11/18/2014



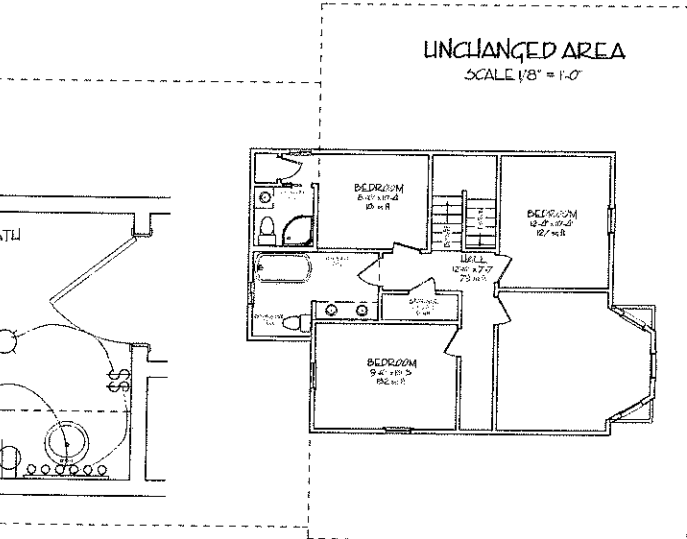
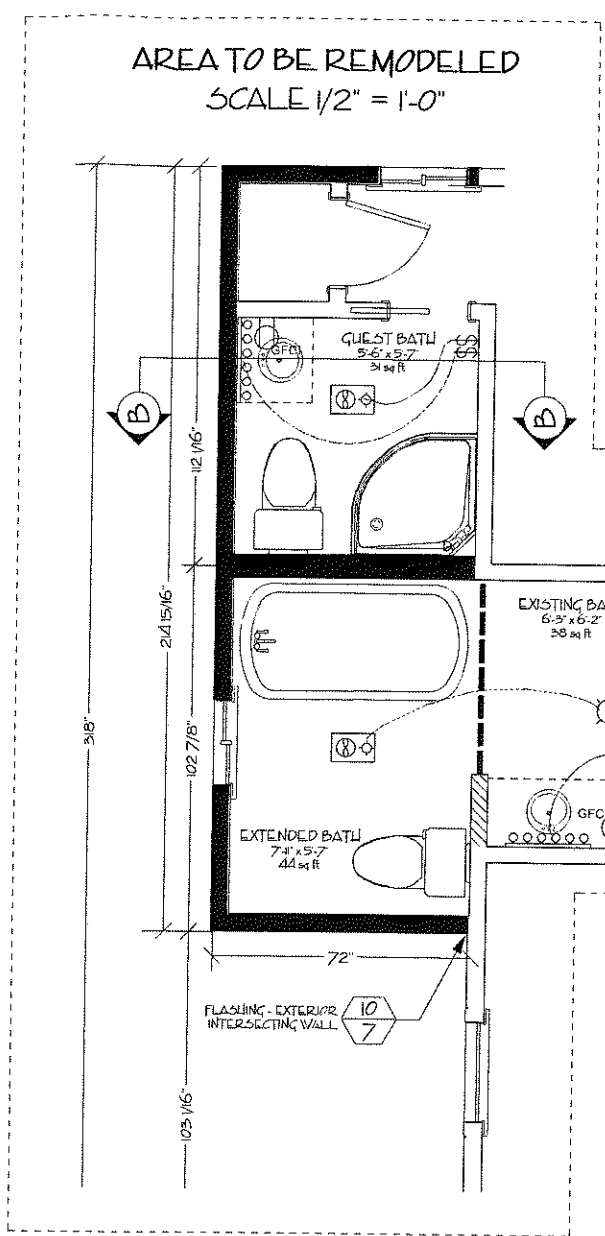
PEARMAN RESIDENCE - ADDITION
414 FOREST AVENUE, PACIFIC GROVE, CALIFORNIA

APN 006-481-004-000

SITE PLAN



1ST FLOOR



2ND FLOOR

NEW WALL
 UNCHANGED WALL
 WALL TO BE REMOVED AND REPLACED
 WALL TO BE REMOVED WITHOUT REPLACEMENT



PROPOSED FLOOR PLAN

SCALE 1/2" = 1'-0"

NOTES

PERMANENTLY INSTALLED LUMINARIES IN BATHROOMS, GARAGE, LAUNDRY ROOM AND UTILITY ROOMS SHALL BE HIGH EFFICACY OR MANUAL-ON OCCUPANCY SENSOR THAT SHALL NOT HAVE A CONTROL THAT ALLOWS LUMINARIES TO BE TURNED ON AUTOMATICALLY OR HAS AN OVERRIDE ALLOWING LUMINARIES TO BE ALWAYS ON.

ALL OTHER INTERIOR ROOMS (E.G. LIVING ROOM, DINING ROOM, BEDROOMS, HALLWAYS ETC.) EXCEPT CLOSET LESS THAN 70 SQ. FT. SHALL BE HIGH EFFICACY, MANUAL-ON OCCUPANCY SENSOR OR DIMMER. LUMINARIES SHALL NOT HAVE A CONTROL THAT ALLOWS THEM TO BE TURNED ON AUTOMATICALLY OR HAS AN OVERRIDE ALLOWING LUMINARIES TO BE ALWAYS ON.

OUTDOOR LIGHTING ATTACHED TO BUILDINGS SHALL BE HIGH EFFICACY OR CONTROLLED SENSOR OR DIMMER.

SURFACE-MOUNTED LIGHTING INCANDESCENT FIXTURES IN CLOSETS SHALL BE A MINIMUM OF 12 INCHES FROM STORAGE AREAS. RECESSED INCANDESCENT FIXTURES SHALL BE MOUNTED A MINIMUM OF 6 INCHES AWAY. LAMP MUST BE COMPLETELY ENCLOSED.

ALL RECEPTACLES SHALL BE TAMPER-RESISTANT. ALL RECEPTACLES IN GARAGE SHALL BE GFCI.

ARC FAULT INTERRUPTER PROTECTION IS REQUIRED FOR 15 & 20 AMP BRANCH CIRCUITS ARE REQUIRED FOR ALL ROOMS EXCEPT BATHROOMS & KITCHENS.

SNAP SWITCHES INCLUDING DIMMER AND SIMILAR CONTROL SWITCHES SHALL BE EFFECTIVELY GROUNDED AND SHALL PROVIDE A MEANS TO GROUND METAL FACEPLATES WHETHER OR NOT A METAL FACEPLATE IS INSTALLED.

BATHROOM RECEPTACLES/OUTLETS SHALL BE SUPPLIED BY AT LEAST ONE 20 AMP CIRCUIT. SUCH CIRCUITS SHALL HAVE NO OTHER OUTLETS.

PROVIDE WEATHER PROOF GFCI RECEPTACLE AT FRONT AND BACK OF HOME. PROVIDE EXTERIOR LIGHTING AT ALL EXIT DOORS.

OCCUPANCY SEPARATION BETWEEN GARAGE AND LIVING UNITS SHALL BE ONE (1) HOUR ON GARAGE SIDE WITH 5/8" TYPE 'X' G.I.B. ON WALLS FROM SILL PLATE TO UNDERSIDE OF FLOOR FRAMING OR ROOF SHEATHING IF APPLICABLE. DOORS IN SUCH WALLS SHALL BE SELF-CLOSING AND A MINIMUM 1 3/8" THICK SOLID CORE DOOR OR 20 MINUTE FIRE-RATED.

THERE SHALL BE A LANDING AT EACH EXTERIOR DOOR. THE WIDTH OF EACH LANDING SHALL NOT BE LESS THAN THE DOOR SERVED. EVERY LANDING SHALL HAVE A MINIMUM DIMENSION OF 36 INCHES MEASURED IN TRAVEL DIRECTION. EXTERIOR LANDINGS MAY HAVE A SLOPE OF NOT MORE THAN 2%.

ALL HOT WATER FAUCETS THAT HAVE MORE THAN TEN FEET OF PIPE BETWEEN THE FAUCET AND THE HOT WATER HEATER SERVING SUCH FAUCET SHALL BE EQUIPPED WITH A HOT WATER RECIRCULATING SYSTEM.

AT LEAST ONE WALL SWITCH-CONTROLLED LIGHTING OUTLET SHALL BE INSTALLED IN EVERY HABITABLE ROOM IN BATHROOMS, HALLWAYS, STAIRWAYS, ATTACHED GARAGES, DETACHED GARAGES WITH ELECTRIC POWER, AND AT OUTDOOR ENTRANCES OR EXITS. (CALIF. CODE ARTICLE 210701A)

ALL INCANDESCENT LIGHTING FIXTURES RECESSED INTO INSULATED CEILINGS SHALL BE I.C. RATED BY UL OR OTHER APPROVED AGENCY. (TITLE 24 SEC. 5004.4)

SMOKE ALARMS SHALL BE WIRED TO BUILDING DIRECT 110V WITH BATTERY BACKUP. SMOKE ALARMS ARE TO BE INTERCONNECTED SO ALL ALARMS ACTIVATE IF ONE ACTIVATES. (CALIF. CODE ARTICLE 20304)

CARBON MONOXIDE ALARMS SHALL BE LOCATED OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS AND ON EVERY LEVEL OF A DWELLING UNIT INCLUDING THE BASEMENT.

EACH DISCONNECTING MEANS (CIRCUIT BREAKER) WITHIN THE ELECTRIC SUB-PANEL/LOAD CENTER SHALL BE LEGIBLY MARKED TO INDICATE ITS PURPOSE WITH INDELIBLE MARKINGS CAPABLE OF WITHSTANDING ENVIRONMENT. IDENTIFICATION IS TO BE SPECIFIC I.E. - OFFICE LIGHTS, BATH GFI, ETC.

SHOWER COMPARTMENTS AND WALLS ABOVE BATHTUBS WITH SHOWER HEADS SHALL BE FINISHED WITH A SMOOTH NONABSORBENT SURFACE (E.G. CERAMIC TILE OR FIBERGLASS) OVER A MOISTURE RESISTANT UNDERLAYMENT (E.G. CEMENT, FIBER CEMENT, OR GLASS MAT GYPSUM BACKER) TO A HEIGHT OF NOT LESS THAN 72 INCHES ABOVE THE DRAIN INLET. NOTE: Water-resistant gypsum backing board shall not be used over a vapor retarder in shower or bathtub compartments. (CALIF. CODE ARTICLE 20307 and 20308.8)

PLUMBING MAXIMUM FLOW RATES: TOILETS TO BE MAXIMUM 128 GALLONS PER FLUSH. SHOWER HEADS SHALL BE 2 GPM @ 80 PSI. LAVATORY FAUCETS SHALL BE 1.5 GPM @ 60 PSI. KITCHEN FAUCETS ARE 1.8 GPM @ 60 PSI. EXISTING FIXTURES MUST RETROFIT TO SAME RATES IF THEY EXCEED FOLLOWING USAGE: TOILETS 16 GPM, SHOWERHEADS 2.5 GPM @ 80 PSI, LAVATORY FAUCETS 2.2 GPM @ 60 PSI, KITCHEN FAUCETS 2.2 GPM @ 60 PSI.

8
 CONSTRUCTION
 P.O. BOX 225202, CARMEL, CA 95922
 831 277-2065
 vfrme@luna.com

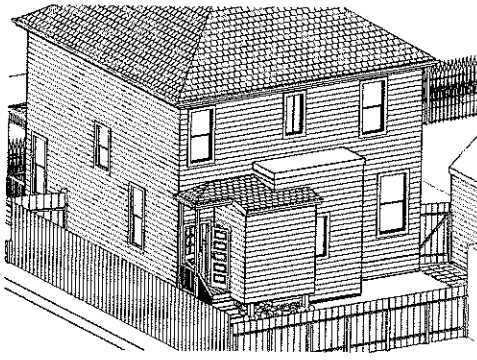
PEARMAN RESIDENCE - ADDITION
 4114 FOREST AVENUE, PACIFIC GROVE, CALIFORNIA

APN 006-481-004-000

NEW FLOOR PLANS

A3
 11/18/2014

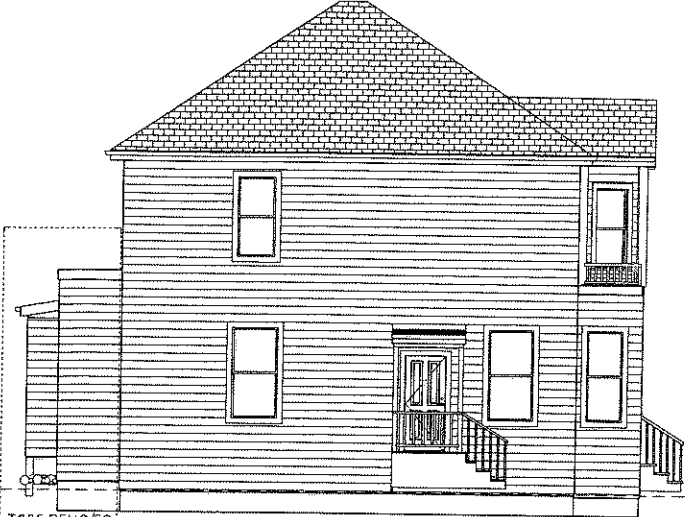
EXISTING



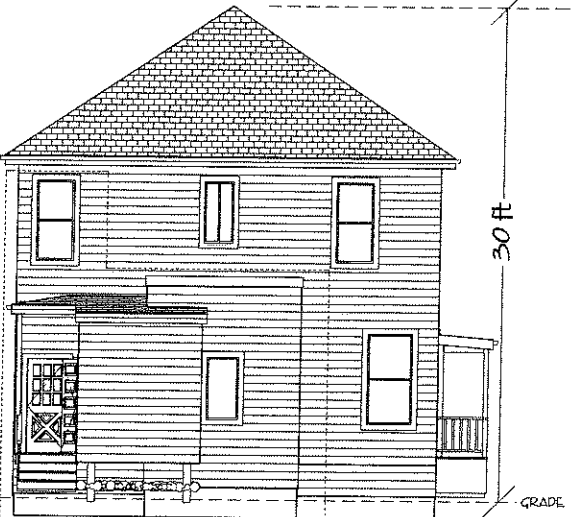
REAR

8
CONSTRUCTION
P.O. BOX 223202, CARMEL, CA 95022
831 277-2065
vfraser@jms.com

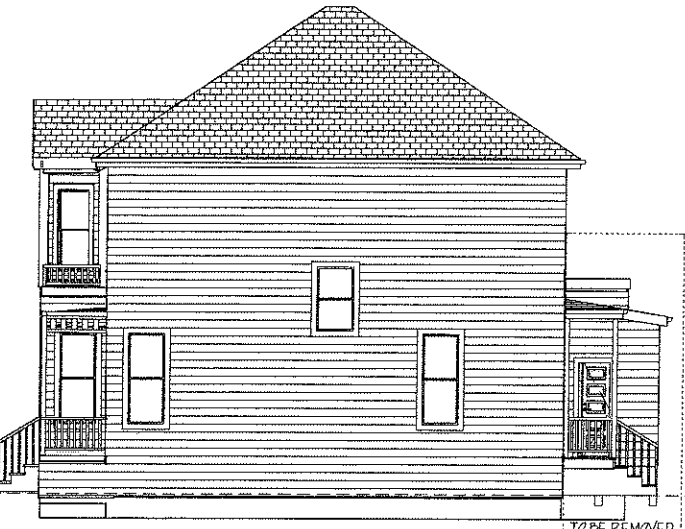
FRONT



SOUTH



WEST

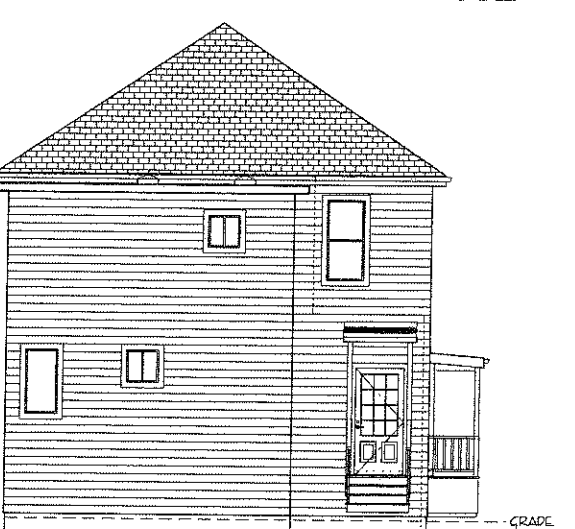
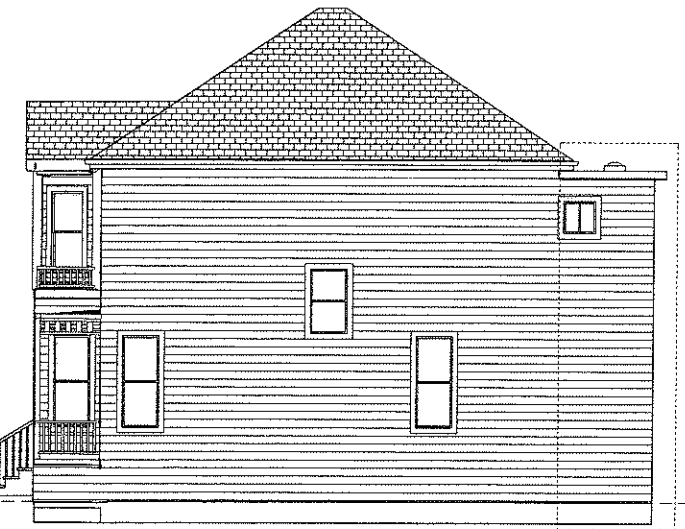


NORTH

EAST

EXISTING PROPOSED

EXISTING PROPOSED

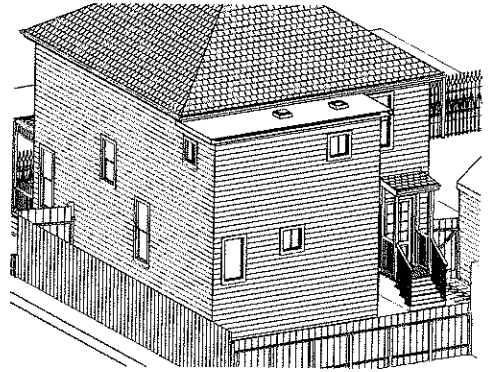


MATERIALS AND COLORS TO MATCH EXISTING

ELEVATIONS

SCALE = 3/16 in = 1 ft

PROPOSED



PEARMAN RESIDENCE - ADDITION
414 FOREST AVENUE, PACIFIC GROVE, CALIFORNIA

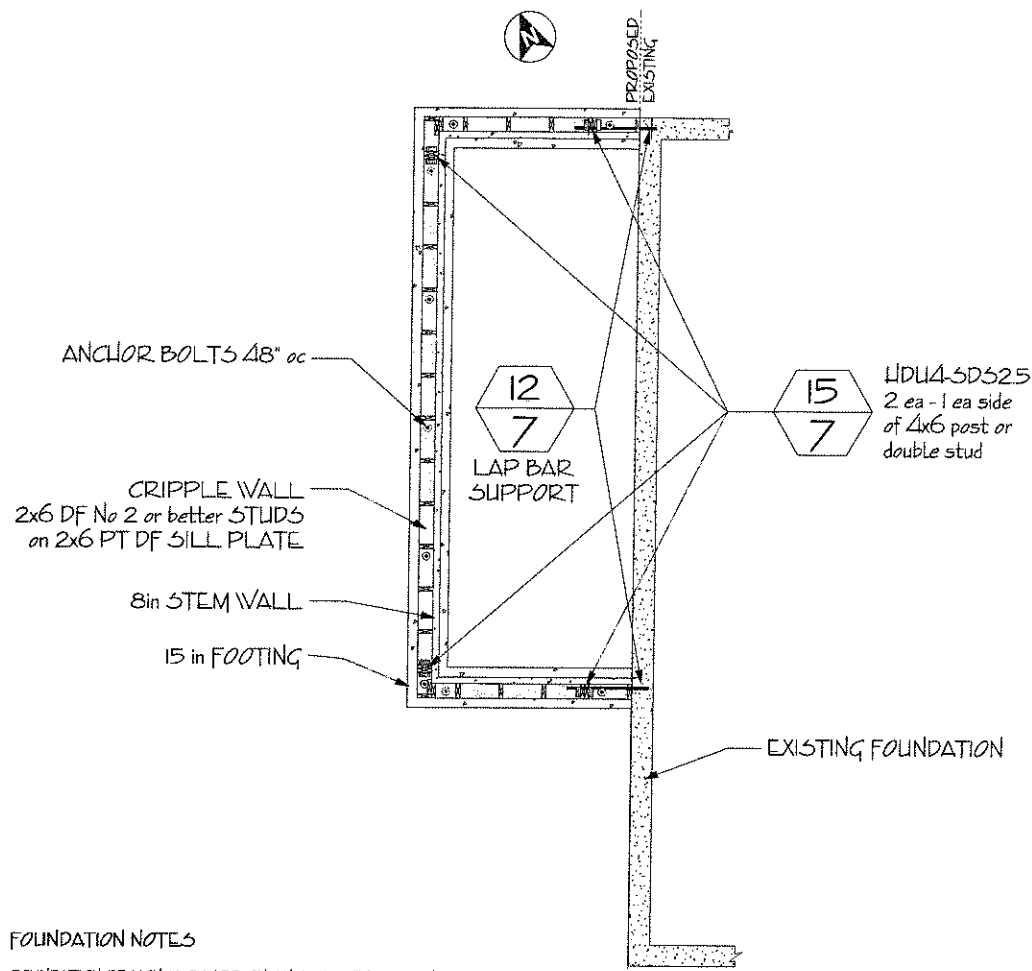
APN 006-481-004-000

ELEVATIONS
EXISTING & PROPOSED

A4
1/18/2014

PROPOSED FOUNDATION

SCALE 3/8" = 1'-0"



FOUNDATION NOTES

FOUNDATION DESIGN IS BASED ON AN ASSUMED BEARING CAPACITY OF 1500 PSF. ALL NEW FOOTINGS SHALL BEAR ON FIRM NATIVE UNDISTURBED SOIL AND SHALL MINIMALLY ADHERE TO THE FOLLOWING TABLE:

STORIES	WIDTH	THICKNESS
1	12"	10"
2	15"	10"

FOOTINGS SHALL EXTEND A MINIMUM OF 12" INTO UNDISTURBED EARTH. CONTRACTOR SHALL VERIFY THAT EXISTING SOIL CONDITIONS ARE AS ASSUMED. NOTIFY DESIGNER IF EXISTING SOIL CONDITIONS ARE NOT AS ASSUMED PRIOR TO LAYING ANY REINFORCING OR POURING OF CONCRETE.

UNDER FLOOR VENTILATION: NEW STRUCTURE TO BE PROVIDED A MINIMUM OF ONE SQUARE FOOT OF UNDER FLOOR (CRAWL SPACE) VENTILATION FOR EACH 150 SQUARE FEET OF UNDER FLOOR AREA AS PER 2010 IRC SECTION R408. ONE VENTILATION OPENING SHALL BE WITHIN 3 FEET OF EACH CORNER OF THE BUILDING. THE VENTILATION OPENINGS SHALL BE PLACED SO AS TO PROVIDE CROSS VENTILATION OF THE UNDER FLOOR SPACE AND BE COVERED WITH MATERIALS WITH OPENINGS MEASURING A MAXIMUM OF 1/8".

CONCRETE STRENGTH: ALL CONCRETE SHALL DEVELOP AN ULTIMATE COMPRESSIVE STRENGTH OF 3000 PSI AT AGE 28 DAYS.

REINFORCING: ALL REINFORCING SHALL CONFORM TO ASTM GRADE 40.

BOLTS: ALL BOLTS SHALL CONFORM TO ASTM A307. THE THREADED PORTION OF THE BOLT BEARING ON WOOD SHALL BE KEPT TO A MINIMUM. DO NOT USE ALL-THREAD RODS FOR BOLTS WHICH BEAR ON WOOD.

ANCHOR BOLTS: ALL ANCHOR BOLTS SHALL MATCH SPECIFIED HOLD-DOWNS AS PER MANUFACTURER'S SPECIFICATIONS. WASHERS: WASHERS TO BE 3/8"x0.225" THICK PLATE AT EACH ANCHOR BOLT. C.B.C. SECTION 1806.6. INSTALL WASHERS PARALLEL AND PERPENDICULAR TO SILL PLATES.

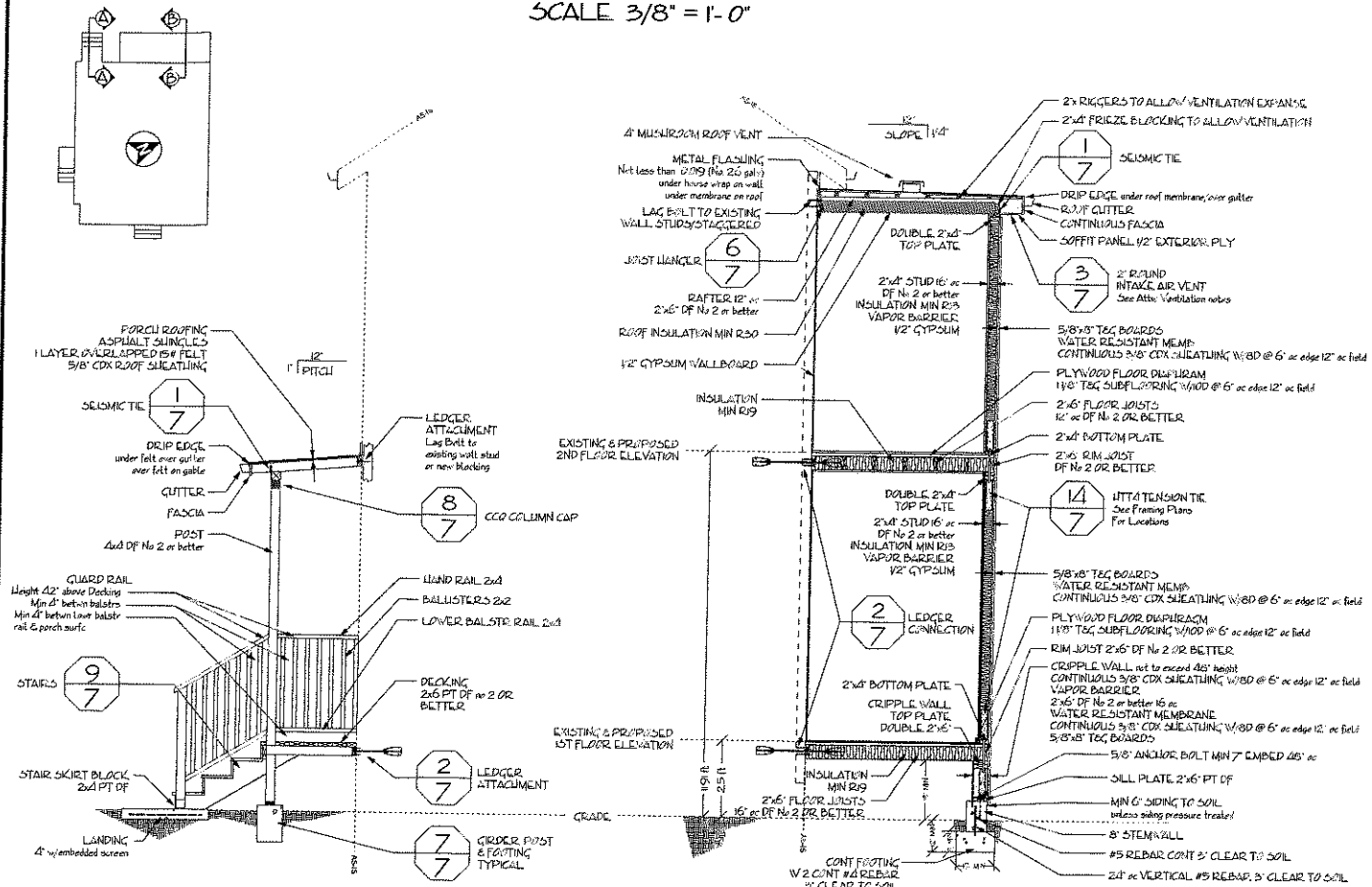
FASTENERS: ALL FASTENERS IN PRESERVATIVE-TREATED WOOD (ANCHOR BOLTS, NAILS, SCREWS, ETC) ARE TO BE APPROVED SILICON BRONZE OR COPPER, STAINLESS STEEL OR HOT-DIPPED ZINC-COATED STEEL PER C.B.C. SECTIONS 1813 AND 2304.3 (ATTACHED OR LOOKED AROUND REINFORCING).

SILL PLATES: ALL SILL PLATES SHALL BE BOLTED TO FOUNDATION WITH 5/8" DIAMETER X 10" ANCHOR BOLTS WITH PROPERLY SIZED BOLTS AND WASHERS AT 48" ON CENTER. BOLTS EMBEDDED A MINIMUM OF 7" INTO CONCRETE OR GROUT. CONTRACTOR SHALL ADD 5/8" DIAMETER EXPANSION BOLTS TO ALL NEW BRACE & BEARING WALLS AS REQUIRED TO ACHIEVE 48" ANCHOR BOLTS SPACING. EXPANSION BOLTS TO BE EMBEDDED A MINIMUM OF 4" INTO EXISTING CONCRETE. PROVIDE A MINIMUM OF TWO BOLTS PER PLATE AND ONE BOLT WITHIN 7" BOLT DIAMETERS FROM END OF ALL PLATES. ALL SILL PLATES SHALL BE 2x-PRESSURE TREATED DOUG FIR NO 2 OR BETTER UNLESS OTHERWISE NOTED OR DETAILED ON PLANS. AT ALL EXISTING SILL PLATES, CONTRACTOR SHALL ADD 5/8" DIAMETER EXPANSION BOLTS AS REQUIRED TO ACHIEVE SPECIFIED SPACING, 48" ON CENTER UNLESS OTHERWISE NOTED. EMBED BOLTS A MINIMUM OF 4" INTO EXISTING CONCRETE. THIS SPACING IS TYPICAL UNLESS OTHERWISE NOTED ON FOUNDATION PLAN OR DETAILS AT ALL EXISTING FOOTINGS. ALL PLATES SHALL BE 2x PRESSURE TREATED DOUG FIR NO 1 OR BETTER UNLESS OTHERWISE NOTED OR DETAILED ON PLANS.

ALL FOUNDATION SILL PLATES ARE TO BE TREATED WOOD, OR FOUNDATION GRADE REDWOOD OR CEDAR PER C.B.C. 2306.8.

BUILDING SECTIONS

SCALE 3/8" = 1'-0"



SECTION A - porch

SECTION B - remodel/addition

ROOF CONSTRUCTION SHALL BE CLASS C OR AS APPROVED BY REVIEWING AUTHORITY. THIS REQUIREMENT APPLIES TO ALL NEW CONSTRUCTION AND/OR REPAIRS THAT AFFECT 50 PERCENT OF EXISTING ROOF. C.B.C. SECTIONS 1503 & 1504, AND FIRE DISTRICT.

WALL FRAMING: SHALL BE 2x4 STUDS AT 16" OC UNLESS OTHERWISE NOTED ON PLANS. 2x4 STUDS SHALL BE DOUG FIR NO 2 OR BETTER. 2x6 OR LARGER SHALL BE DOUG FIR NO 2 OR BETTER. 2x6 BOARDS LONGER THAN 16' SHALL BE DOUG FIR NO 1 OR BETTER. STUDS AT EXTERIOR AND BEARING WALLS SHALL BE DOUG FIR NO 2 OR BETTER. STUDS AT NON-BEARING PARTITIONS SHALL BE DOUG FIR STANDARD OR BETTER. BLOCK ALL STUDS AT MAXIMUM 10" OC. ALL WALLS SHALL BE PLATFORM FRAMED FROM SILL PLATE TO ROOF FRAMING. CONTRACTOR SHALL COORDINATE PLUMBING LAYOUT WITH PLUMBING SUBCONTRACTOR PRIOR TO START OF FRAMING. ALL PLUMBING WALLS THAT ARE SHEAR WALLS OR BEARING WALLS SHALL BE 2x6 WALLS. CONTRACTOR SHALL OBTAIN ENGINEER'S PERMISSION FOR DRILLING OR NOTCHING STUDS OR DOUBLE TOP PLATE OF ANY BRACE OR BEARING WALL MORE THAN 1/2 OF WIDTH OF WALL. NON-BEARING PARTITIONS: PROVIDE TWO JOISTS OR 2x BLOCKING UNDER ALL NON-BEARING PARTITIONS AS SHOWN IN DETAIL ON SHEET 6 OF THESE PLANS.

DOUBLE TOP PLATES: CONTRACTOR SHALL SPLICE DOUBLE TOP PLATES WITH 14-16 UNLESS OTHERWISE NOTED ON PLANS. PLATES SHALL BE DOUG FIR OR LARCH NO 2 OR BETTER. NOTIFY DESIGNER OF ANY BEARING OR BRACE PANEL WALL WHERE DOUBLE TOP PLATE IS NOTCHED MORE THAN HALF THE WIDTH OF THE PLATE.

HEADERS: ALL HEADERS SHALL BE 4x2 UNLESS OTHERWISE NOTED ON PLANS. PROVIDE 1-2x TRIMMERS AND 1-2x KING STUD AT ALL BRACE PANEL AND BEARING WALLS.

HANGERS: ALL BEAMS SHALL HANG OFF OTHER BEAMS WITH WHITE (16 GAUGE) HANGERS. THESE HANGERS ARE TYPICAL UNLESS OTHERWISE SPECIFIED ON PLANS.

NAILING: ALL NAILING SHALL COMPLY WITH TABLE 2304.91 OF THE C.B.C. (SHEET 8 OF THESE PLANS). ALL NAILS SHALL BE COMMON NAILS.

LUMBER: ALL LUMBER SHALL BE DOUG FIR OR LARCH NO 2 OR BETTER UNLESS OTHERWISE NOTED ON PLANS. BEAMS SHALL BE DOUG FIR OR LARCH NO 1 OR BETTER. HEADERS AND POSTS SHALL BE DOUG FIR OR LARCH NO 2 OR BETTER. ALL LUMBER EXPOSED TO THE WEATHER IN CONTACT WITH CONCRETE, OR WITHIN 6' OF EARTH SHALL BE PRESSURE-TREATED.

MINIMUM REQUIRED ATTIC VENTILATION: EQUALS RATIO OF 1/50 OF ATTIC AREA OR 1/300 IF VAPOR RETARDER IS UTILIZED. 50% OF VENT OPENINGS MUST BE 3 FEET OR MORE ABOVE EAVES OR AT TOPMOST POINT OF ROOF SURFACE WITH THE BALANCE AT THE EAVES. THERE IS 107 SQ. FT. OF ATTIC REQUIRING MIN OF 71 SQ. FT. (85 SQ. IN.) OF VENTILATION. 355 SQ. FT. (425 SQ. IN.) OF EAVE AND 355 SQ. FT. (425 SQ. IN.) OF RIDGE. 4 IN. DIA. MUSHROOM ROOF VENT EQUALS 13.76 SQ. IN. VENTILATION ABOVE EAVE. 1.5 IN. DIA. EAVE SOFFIT VENT EQUALS 194 SQ. IN. VENT AREA REQUIRING MIN OF 3 SOFFIT VENTS SEVEN 2 IN. EAVE SOFFIT VENTS WILL BALANCE THE ONE 4 IN. ROOF MUSHROOM VENT.

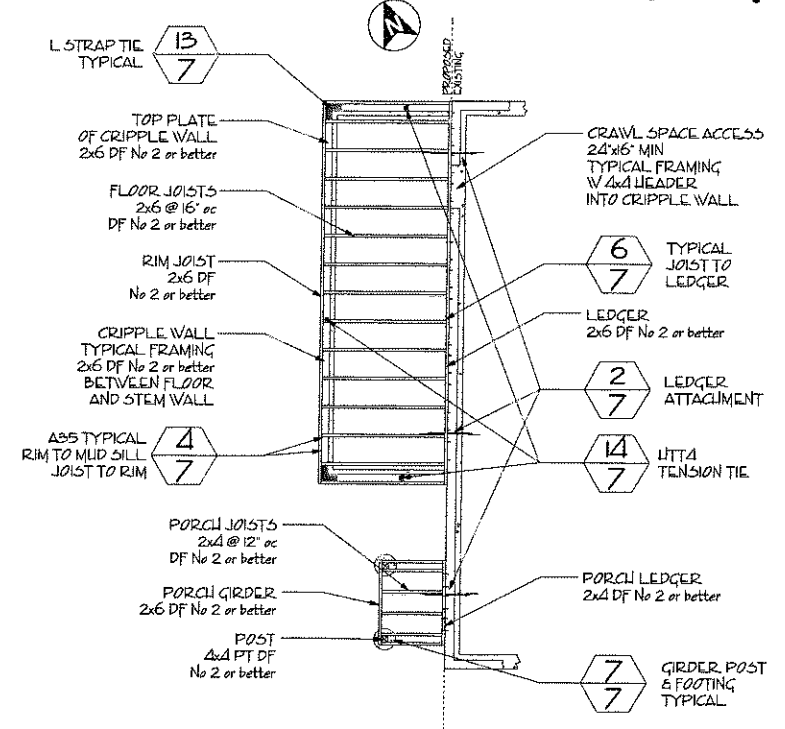
PEARMAN RESIDENCE - ADDITION
414 FOREST AVENUE, PACIFIC GROVE, CALIFORNIA
PROPOSED FOUNDATION
BUILDING SECTION

A5
11/18/2014

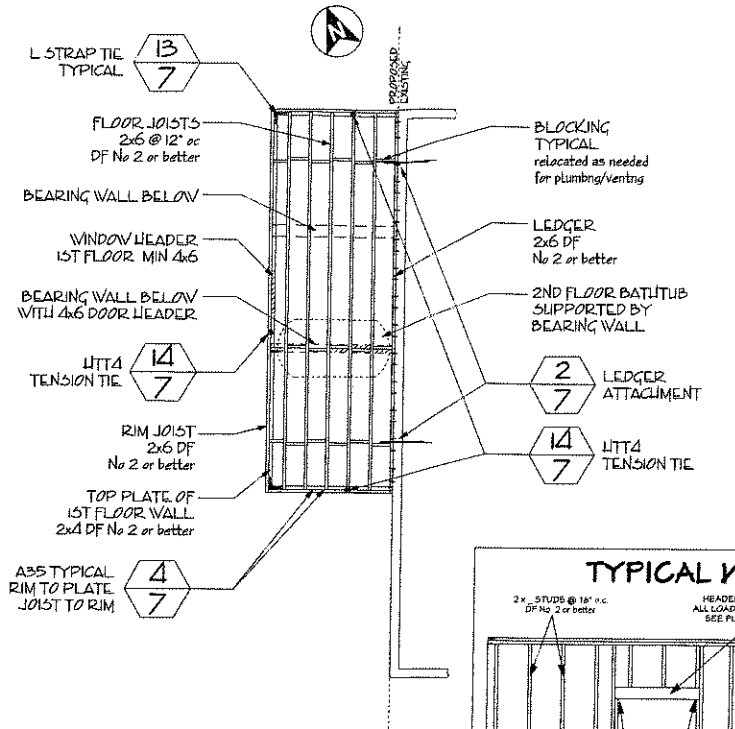
P.O. BOX 22202, CARMEL, CA 95922
 831-277-2065
 vfranson@jmc.com

FRAMING

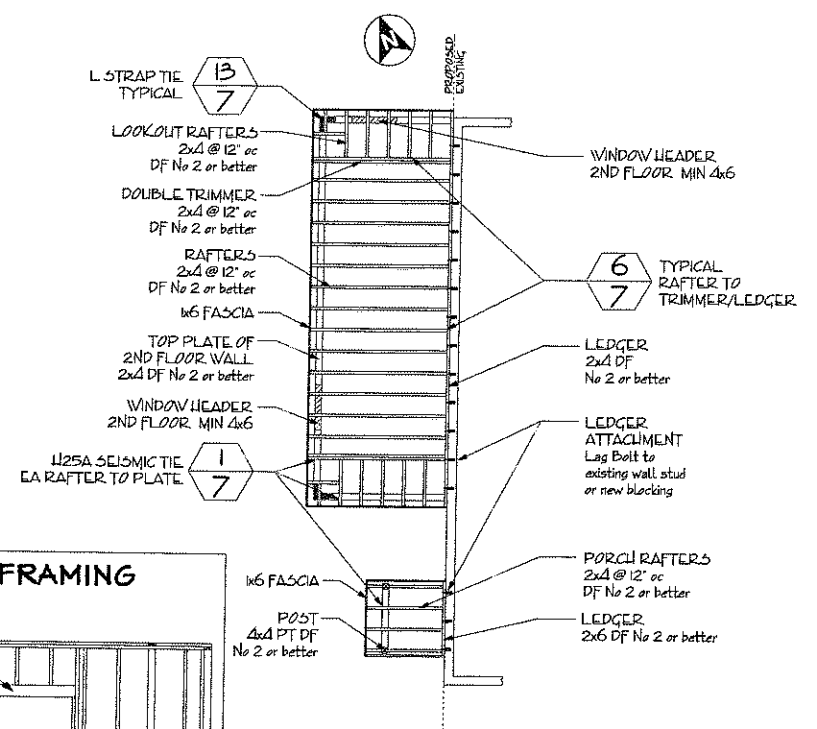
SCALE 1/4" = 1'-0"



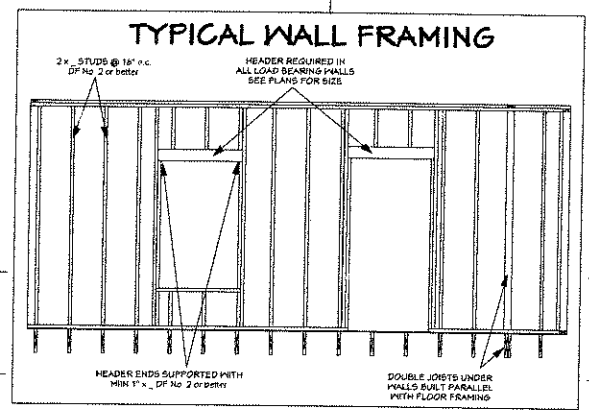
1st FLOOR



2nd FLOOR



ROOF



TO VIEW LOAD TRANSFER DETAILS **16/7**

BRACE WALL LINES

BRACING METHOD - CONTINUOUSLY SHEATHED WOOD STRUCTURAL PANEL (CS-WSP) SCALE 1/4" = 1'-0"

WIND CALCS		Numbered Wall Lines		Lettered Wall Lines	
Exposure Category	1.00		1.00		1.00
Roof Eave-to-Ridge Height	0.90		0.90		0.90
Wall Height	0.90		0.90		0.90
Number of Braced Wall Lines	1.00		1.00		1.00
Wind Factor Total	2.43		1.22		1.22

Braced Wall Line	Bracing Method	Braced Wall Line Spacing (ft)	Required Bracing Total	Wind Factor Length (ft)	Required Bracing Provided (ft)	Bracing Length	Status
1	CS-WSP	20	3.0	2.43	7.29	17.92	Okay
A	CS-WSP	10	1.5	1.22	3.66	5.95	Okay
B	CS-WSP	10	1.5	1.22	3.66	5.95	Okay

WIND CALCS		Numbered Wall Lines		Lettered Wall Lines	
Exposure Category	1.00		1.00		1.00
Roof Eave-to-Ridge Height	0.90		0.90		0.90
Wall Height	1.00		1.00		1.00
Number of Braced Wall Lines	1.00		1.00		1.00
Wind Factor Total	3.15		1.35		1.35

Braced Wall Line	Bracing Method	Braced Wall Line Spacing (ft)	Required Bracing Total	Wind Factor Length (ft)	Required Bracing Provided (ft)	Bracing Length	Status
1	CS-WSP	20	3.0	3.15	9.75	17.92	Okay
A	CS-WSP	10	1.5	1.35	2.03	5.95	Okay
B	CS-WSP	10	1.5	1.35	2.03	5.95	Okay

WIND CALCS		Numbered Wall Lines		Lettered Wall Lines	
Exposure Category	1.00		1.00		1.00
Roof Eave-to-Ridge Height	0.90		0.90		0.90
Wall Height	1.00		1.00		1.00
Number of Braced Wall Lines	1.00		1.00		1.00
Wind Factor Total	3.15		1.35		1.35

Braced Wall Line	Bracing Method	Braced Wall Line Spacing (ft)	Required Bracing Total	Wind Factor Length (ft)	Required Bracing Provided (ft)	Bracing Length	Status
1	CS-WSP	20	3.0	3.15	9.75	17.92	Okay
A	CS-WSP	10	1.5	1.35	2.03	5.95	Okay
B	CS-WSP	10	1.5	1.35	2.03	5.95	Okay

SEISMIC CALCS		Adjustments	
Story Height	1.00		1.00
Wall Dead Load	1.00		1.00
Roof Ceiling Dead Load	1.00		1.00
Stone/Masonry in SDC C-D	n/a		n/a
Seismic Factor Total	1.00		1.00

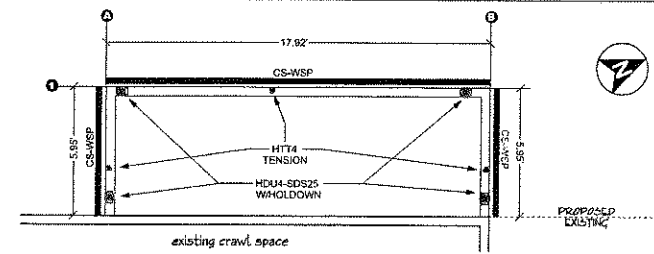
Braced Wall Line	Bracing Method	Braced Wall Line Length (ft)	Required Bracing Spacing (ft)	Seismic Factor Total	Required Bracing Length (ft)	Bracing Provided (ft)	Status
1	CS-WSP	17.92	4.30	1.00	5.16	17.92	Okay
A	CS-WSP	5.95	2.10	1.40	5.33	5.95	Okay
B	CS-WSP	5.95	2.10	1.40	5.33	5.95	Okay

SEISMIC CALCS		Adjustments	
Story Height	1.00		1.00
Wall Dead Load	1.00		1.00
Roof Ceiling Dead Load	1.00		1.00
Stone/Masonry in SDC C-D	n/a		n/a
Seismic Factor Total	1.00		1.00

Braced Wall Line	Bracing Method	Braced Wall Line Length (ft)	Required Bracing Spacing (ft)	Seismic Factor Total	Required Bracing Length (ft)	Bracing Provided (ft)	Status
1	CS-WSP	17.92	4.30	1.20	5.16	17.92	Okay
A	CS-WSP	5.95	2.10	1.40	2.94	5.95	Okay
B	CS-WSP	5.95	2.10	1.20	1.40	2.94	Okay

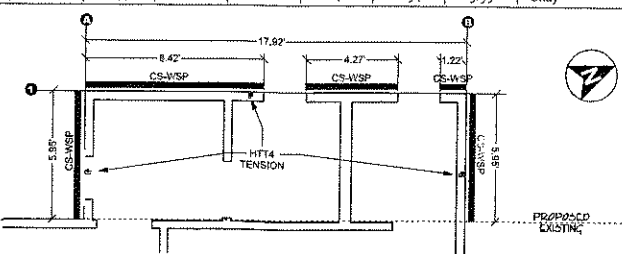
SEISMIC CALCS		Adjustments	
Story Height	1.00		1.00
Wall Dead Load	1.00		1.00
Roof Ceiling Dead Load	1.00		1.00
Stone/Masonry in SDC C-D	n/a		n/a
Seismic Factor Total	1.00		1.00

Braced Wall Line	Bracing Method	Braced Wall Line Length (ft)	Required Bracing Spacing (ft)	Seismic Factor Total	Required Bracing Length (ft)	Bracing Provided (ft)	Status
1	CS-WSP	17.92	4.30	1.20	5.16	17.92	Okay
A	CS-WSP	5.95	2.10	1.20	1.40	2.94	Okay
B	CS-WSP	5.95	2.10	1.20	1.40	2.94	Okay



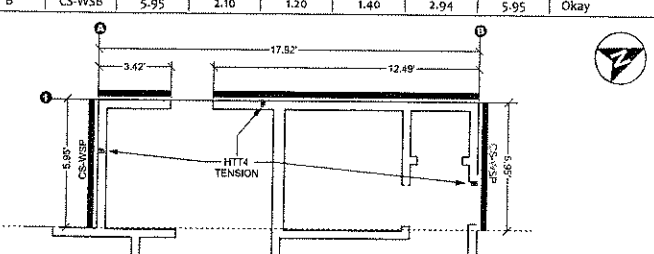
WALL	CONSTRUCTION	TENSION	HOLD-DOWN	LD STUD	WALL STUD	ANCHOR BOLT
1	3/8" CDX PLY W/BD @ 6' oc	LITTA	HDU4-SDS25	4x6	2X	5/8" @ 48" oc
A	3/8" CDX PLY W/BD @ 6' oc	LITTA	HDU4-SDS25	4x6	2X	5/8" @ 48" oc
B	3/8" CDX PLY W/BD @ 6' oc	LITTA	HDU4-SDS25	4x6	2X	5/8" @ 48" oc

FOUNDATION CRIPPLE WALL



WALL	CONSTRUCTION	TENSION	WALL STUD
1	3/8" CDX PLY W/BD @ 6' oc	LITTA	2X
A	3/8" CDX PLY W/BD @ 6' oc	LITTA	2X
B	3/8" CDX PLY W/BD @ 6' oc	LITTA	2X

1ST FLOOR



WALL	CONSTRUCTION	TENSION	WALL STUD	ROOF TO WALL
1	3/8" CDX PLY W/BD @ 6' oc	LITTA	2X	110 @ EA RAFTER
A	3/8" CDX PLY W/BD @ 6' oc	LITTA	2X	110 @ EA RAFTER
B	3/8" CDX PLY W/BD @ 6' oc	LITTA	2X	110 @ EA RAFTER

2ND FLOOR

PEARMAN RESIDENCE - ADDITION
414 FOREST AVENUE, PACIFIC GROVE, CALIFORNIA
APN 006-481-004-000
8
P.O. BOX 225202, CARMEL, CA 95022
858 277-2065
vfmason@juno.com

FRAMING
BRACE WALL LINES

A6
1/18/2014

STATE OF CALIFORNIA
Prescriptive Residential Additions 300 Ft² or Less, or Additions That Do Not Require HERS Field Verification
 CERTIFICATE OF COMPLIANCE
 Prescriptive Residential Additions 300 Ft² or Less, or Additions That Do Not Require HERS Field Verification
 PEARMAN RESIDENCE ADDITION
 11/12/2014

A. GENERAL INFORMATION

01 Project Name	PEARMAN RESIDENCE ADDITION	02 Date Prepared	11/12/2014
03 Project Location	414 Forest Ave	04 Building Front Orientation (deg)	90
05 CA City	Pacific Grove	06 Number of Dwelling Units with Addition	1
07 Site Code	53x52	08 Fuel Type	Natural Gas
09 Climate Zone	3	10 Total Conditioned Floor Area (ft ²) (ADDITION)	221
11 Building Type	Single Family	12 Sky Area (ft ²)	Nil
13 Project Owner	300 4th St, Sausalito		

CA Building Energy Efficiency Standards - 2013 Residential Compliance June 2014

STATE OF CALIFORNIA
Prescriptive Residential Additions 300 Ft² or Less, or Additions That Do Not Require HERS Field Verification
 CERTIFICATE OF COMPLIANCE
 Prescriptive Residential Additions 300 Ft² or Less, or Additions That Do Not Require HERS Field Verification
 PEARMAN RESIDENCE ADDITION
 11/12/2014

B. OPAQUE SURFACE DETAILS - Framed (Section 150.2(a))

Table ID	Assembly Type	Frame Type	Frame Depth (inches)	Frame Spacing (inches)	Insulation R-Value	U-Value	Air Infiltration (ACH50)	Solar Heat Gain Coefficient (SHGC)	Visible Transmittance (VT)	Proposed		Required	
										U-Value	Air Infiltration (ACH50)	U-Value	Air Infiltration (ACH50)
01	wall	Wood	2x4	16	R13	0.10	< 1	0.10	< 1	A3	0.10	150	100
02	roofing	Wood	2x12	R23	0	0.029	< 2	0.17	0.17	A4	0.029		
03	door	Wood	2x6	16	R19	0	0.017	4.4	0.17	A4	0.017		

CA Building Energy Efficiency Standards - 2013 Residential Compliance June 2014

STATE OF CALIFORNIA
Prescriptive Residential Additions 300 Ft² or Less, or Additions That Do Not Require HERS Field Verification
 CERTIFICATE OF COMPLIANCE
 Prescriptive Residential Additions 300 Ft² or Less, or Additions That Do Not Require HERS Field Verification
 PEARMAN RESIDENCE ADDITION
 11/12/2014

C. OPAQUE SURFACE DETAILS - Mass (Section 150.1(c))

Table ID	Assembly Type	Assembly Material	Thickness (inches)	Core Material	Core Thickness (inches)	U-Value	Air Infiltration (ACH50)	Solar Heat Gain Coefficient (SHGC)	Visible Transmittance (VT)	Proposed		Required	
										U-Value	Air Infiltration (ACH50)	U-Value	Air Infiltration (ACH50)
04	floor	Concrete	4	None	None	0.08	0	0.08	0.08	A1	0.08		

CA Building Energy Efficiency Standards - 2013 Residential Compliance June 2014

STATE OF CALIFORNIA
Prescriptive Residential Additions 300 Ft² or Less, or Additions That Do Not Require HERS Field Verification
 CERTIFICATE OF COMPLIANCE
 Prescriptive Residential Additions 300 Ft² or Less, or Additions That Do Not Require HERS Field Verification
 PEARMAN RESIDENCE ADDITION
 11/12/2014

E. SLAB INSULATION (Table 129.1-A)

Table ID	Floor Type	Proposed		Required		Comments
		Insulation R-Value	Insulation Location	Insulation R-Value	Insulation Location	
01	1st Floor	R10	Below Slab	R10	Below Slab	

F. RADIANT BARRIER (Section 150.1(d))

01	Yes	
----	-----	--

A radiant barrier is required for Climate Zones 2-4a

CA Building Energy Efficiency Standards - 2013 Residential Compliance June 2014

STATE OF CALIFORNIA
Prescriptive Residential Additions 300 Ft² or Less, or Additions That Do Not Require HERS Field Verification
 CERTIFICATE OF COMPLIANCE
 Prescriptive Residential Additions 300 Ft² or Less, or Additions That Do Not Require HERS Field Verification
 PEARMAN RESIDENCE ADDITION
 11/12/2014

G. ROOFING PRODUCTS (COOL, ROOF) (Section 150.1(g))

Table ID	Material	Color	Solar Reflectance Index (SRI)	U-Value	Air Infiltration (ACH50)	Solar Heat Gain Coefficient (SHGC)	Visible Transmittance (VT)	Proposed		Required	
								U-Value	Air Infiltration (ACH50)	U-Value	Air Infiltration (ACH50)
01	Asph/Flt	White	75	0.029	0	0.17	0.17	0.029	0	0.17	0.17

H. FENESTRATION/SLAZING AREAS ALLOWED (Section 150.2(a))

Table ID	Addition Type (ft ²)	The Glazier		The Glazier		Minimum Allowed U-Value	Minimum Allowed SHGC	Comments
		Minimum Calculated Allowed %	Maximum Calculated Allowed %	Minimum Calculated Allowed %	Maximum Calculated Allowed %			
01	643	75	75	75	75	0.32	0.19	

CA Building Energy Efficiency Standards - 2013 Residential Compliance June 2014

STATE OF CALIFORNIA
Prescriptive Residential Additions 300 Ft² or Less, or Additions That Do Not Require HERS Field Verification
 CERTIFICATE OF COMPLIANCE
 Prescriptive Residential Additions 300 Ft² or Less, or Additions That Do Not Require HERS Field Verification
 PEARMAN RESIDENCE ADDITION
 11/12/2014

I. FENESTRATION PROPOSED AREAS AND EFFICIENCIES

Table ID	Fenestration Type	Frame Type	Orientation (N, S, W, E or Skylight)	Number of Panes	Proposed Fenestration Area (ft ²)	Proposed U-Value	Proposed SHGC	Source	Minimum Allowed U-Value	Minimum Allowed SHGC	Comments
01	Window	Vinyl	None	2	23	0.32	0.19	NFRC	0.32	0.19	

CA Building Energy Efficiency Standards - 2013 Residential Compliance June 2014

STATE OF CALIFORNIA
Prescriptive Residential Additions 300 Ft² or Less, or Additions That Do Not Require HERS Field Verification
 CERTIFICATE OF COMPLIANCE
 Prescriptive Residential Additions 300 Ft² or Less, or Additions That Do Not Require HERS Field Verification
 PEARMAN RESIDENCE ADDITION
 11/12/2014

J. SPACE CONDITIONING SYSTEMS - HEATING/COOLING (Prescriptive section 150.2(h))

Table ID	Dwelling Unit Name	System Location or Area Served	System Location or Area Served	Equipment Type (HERS Ver 4.0)		
				Model	Capacity (BTU/hr)	SEER/EER
01	Home	Living Room	Living Room	Model	Capacity	SEER/EER

CA Building Energy Efficiency Standards - 2013 Residential Compliance June 2014

STATE OF CALIFORNIA
Prescriptive Residential Additions 300 Ft² or Less, or Additions That Do Not Require HERS Field Verification
 CERTIFICATE OF COMPLIANCE
 Prescriptive Residential Additions 300 Ft² or Less, or Additions That Do Not Require HERS Field Verification
 PEARMAN RESIDENCE ADDITION
 11/12/2014

K. WATER HEATING SYSTEMS (Section 150.1(i))

Table ID	Water Heat Unit	Water Heating System Type	Water Heating System Type	Water Heating System Type	Energy Factor (EF)	Energy Factor (EF)	Energy Factor (EF)	Energy Factor (EF)	Energy Factor (EF)	Energy Factor (EF)	Energy Factor (EF)	Energy Factor (EF)	Energy Factor (EF)	Energy Factor (EF)	Energy Factor (EF)	Energy Factor (EF)	Energy Factor (EF)	Energy Factor (EF)	Energy Factor (EF)	Energy Factor (EF)
01	Home	Water Heater	Water Heater	Water Heater	0.90	0.90	0.90	0.90	0.90	0.90	0.90	0.90	0.90	0.90	0.90	0.90	0.90	0.90	0.90	0.90

CA Building Energy Efficiency Standards - 2013 Residential Compliance June 2014

STATE OF CALIFORNIA
Prescriptive Residential Additions 300 Ft² or Less, or Additions That Do Not Require HERS Field Verification
 CERTIFICATE OF COMPLIANCE
 Prescriptive Residential Additions 300 Ft² or Less, or Additions That Do Not Require HERS Field Verification
 PEARMAN RESIDENCE ADDITION
 11/12/2014

DOCUMENTATION METHOD'S DECLARATION STATEMENT

I, the undersigned, declare that the information provided in this document is true and correct to the best of my knowledge and belief.

DATE: 11/12/2014
 SCALE: 1/8"=1'-0"
 SHEET: T24-1

PEARMAN RESIDENCE ADDITION
 414 Forest Ave, Pacific Grove, CA 93950

MANDATORY MEASURES SUMMARY: Residential (Page 1 of 3) MF-1R

NOTE: Low-rise residential buildings subject to the Standards must comply with all applicable mandatory measures listed, regardless of the compliance approach used. More stringent energy measures listed on the Certificate of Compliance (CF-1R, CF-1R-ADD, or CF-1R-ALT Form) shall supersede the items marked with an asterisk (*) below. The Mandatory Measures Summary shall be incorporated into the permit documents, and the applicable features shall be considered by all parties as minimum component performance specifications whether they are shown elsewhere in the documents or in this summary. Submit all applicable sections of the MF-1R Form with plans.

MANDATORY MEASURES SUMMARY: Residential (Page 2 of 3) MF-1R

§150.0(a)2A All domestic hot water system piping conditions listed below, whether buried or unburied, must be insulated per TABLE 150.0-3A.

MANDATORY MEASURES SUMMARY: Residential (Page 3 of 3) MF-1R

§150.0(a)2F Lighting integral to exhaust fans, in rooms other than kitchens, shall meet the applicable requirements of §150.0(a)2G.

PEARMAN RESIDENCE ADDITION
414 Forest Ave, Pacific Grove, CA 93950

DATE 11/12/2014

SCALE 1/8"=1'-0"

SHEET

T24-2

8.d

